



# Swimming Pools

**\*\* Permits are required for pools having a water surface area exceeding 100 square feet**

**\*\* Permits are required for pools having a water surface area exceeding 100 square feet (11'-3-3/8" Diameter) and are 18" and greater in depth.**

1. Submit a signed, completed Building Permit application form.
2. Submit a signed "Requirements for Swimming Pools" understanding (see page 6).
3. If property **IS in the Shoreland Overlay District**, submit two (2) copies of Certificate of Survey updated by a licensed surveyor, drawn to scale, which indicates the following:
  - a. Lot dimensions, elevations at corners of pool, and easements.
  - b. Location, setback from property line, top of wall and bottom of wall elevation for any proposed retaining wall(s).
  - c. Location of all existing and proposed structures.
  - d. Setback of all proposed structures to property lines.
  - e. Location and height of existing or proposed fence around the pool.
  - f. Type of fence (i.e. picket, board on board, etc.) and gate locations.
  - g. Location, size, and type of proposed pool equipment and proposed hard cover under equipment.
  - h. Distance between proposed pool equipment and residential structures on adjacent properties.
  - i. Top of Bluff and Bluff setback (if applicable)
  - j. Existing and proposed impervious surface calculations.
4. If property **IS NOT in the Shoreland Overlay District**, a Certificate of Survey updated by a licensed surveyor **may not** be required, although Staff reserves the right to require a survey, provided the proposed pool or retaining wall(s) are a minimum of two (2) times the required setback from a property line or easement (whichever is greater). If unable to meet this requirement, contractor or property owner shall identify the property line and proposed setback at the time of inspection or a Certificate of Survey updated by a licensed survey shall be submitted (see 2. above).

If proposed pool and/or retaining wall(s) are a minimum of two (2) times the required setback from a property line or easement (whichever is greater), please submit two (2) copies of a signed and dated Certificate of Survey\*, drawn to scale indicating the following:

- a. Lot dimensions, elevations at corners of pool, and easements.
- b. Location of all existing and proposed structures.
- c. Location, setback from property line, top of wall and bottom of wall elevation for any proposed retaining wall(s).
- d. Proposed setback from proposed structure and patio area to property lines.
- e. Location and height of existing or proposed fence around the pool.
- f. Type of fence (i.e. picket, board on board, etc.) and gate locations.
- g. Location, size, and type of proposed pool equipment.
- h. Distance between proposed pool equipment and residential structures on adjacent properties.

**\*A Certificate of Survey for the property may be on file at City Hall if the house was built after 1984.**

Attached is an example of a property with locations for a pool and fence enclosure which is **intended as a guide only**.

**EXCERPTS FROM CITY CODE:**

**For additional information, please contact the Building Inspection Department at (952) 447-9850.**

SECTION 403.601

**Single Family Residential:**

- 1) Pools shall not be located within ten feet (10') of any rear lot line nor within five feet (5') of any side lot line, nor within six feet (6') of any principal structure or frost footing, including deck footings.
- 2) The filter unit, pump, heating unit and any other noise making mechanical equipment shall be located at least twenty-five feet (25') from any residential building on adjacent property and not closer than eight feet (8') to any lot line.
- 3) Pools shall not be located within any required front yard. Corner lots have two (2) front yards.

SECTION 403.602

**Multi-Family Dwelling:** Private swimming pools intended for and used by occupants and guests or occupants of multiple-family dwellings shall adhere to the following regulations:

- 1) No part of the water surface of the swimming pool shall be closer than fifty feet (50') to any lot line.
- 2) No pump, filter or other apparatus used in connection with the pool shall be closer than fifty feet (50') to any lot line.
- 3) The pool area shall be adequately fenced to prevent uncontrolled access from the street or adjacent property as contained in Section 403.507 hereof. Adequate screening including, but not limited to, a landscape shall be placed between the pool area and adjoining single-family district lot lines.
- 4) All deck areas, adjoining patios or other similar areas used in conjunction with the pool, shall be located at least fifteen feet (15') from any lot line in an adjoining Single-Family District.

**BUILDING REQUIREMENTS:**

1. All swimming pools for which a permit is required and granted shall be provided with safe-guards to prevent children from gaining uncontrolled access. This is best accomplished with fencing. A fence shall be at least five feet (5') in height. The fence shall have vertical rails such that a sphere four inches (4") in diameter cannot pass through. The bottom of the fence shall not be more than four inches (4") from the ground. Fences shall be constructed as to be not easily climbable.

**Acceptable: board on board, vertical spindles, non-climbable chain link  
(spaces between links of 1 1/4" or less).**

**Not acceptable: horizontal rails, climbable chain link, colored plastic hazard fencing.**

2. All fence openings or points of entry into the pool enclosure shall be equipped with gates or doors. All gates or doors to swimming pools shall be equipped with self-closing and self-latching devices placed at a sufficient height (at least four feet (4') off the ground) so as to be provided around the means of access to above ground pools which have five-foot (5') high, vertical or outward inclined sidewalls. Above ground pools with ladders shall have a five-foot (5') high entrance area protected barrier. **NOTE:** Refer to the City of Prior Lake City Code Section 403.
3. Any pool lighting shall be directed toward the pool and not toward adjacent property.
4. All wiring, installation of heating units, grading, installation of pipe or other construction shall be subject to separate permits and inspections.
5. Nuisances, such as undue noise, lighting of adjacent property, health and safety hazards, damage to vegetation on adjoining property, and the like, shall not be permitted.
6. Pools shall not be filled with water until approved five-foot (5') high safety fence is in place and passes inspection.
7. Pools, aprons or decks cannot be located within an easement.
8. Pools cannot be filled with a fire hydrant.

## **REQUIRED INSPECTIONS:**

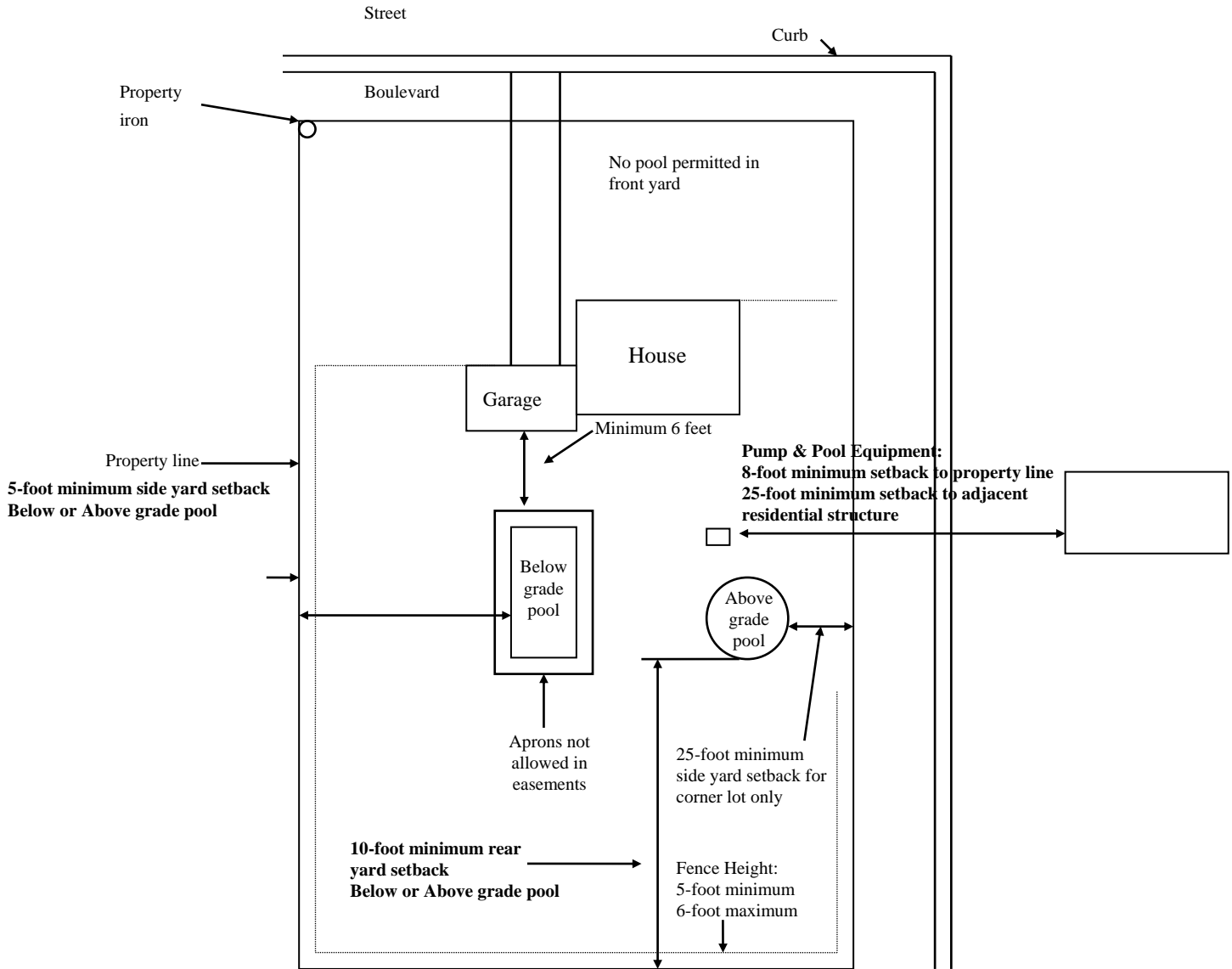
1. Footing: When the pool has been dug and forms have been erected.
2. Rough In: Rough-in inspection includes the installation of a 5-foot high safety fence and the passing of the electrical rough-in for pumps. Rough-in will be performed **before** water is added to pools.
3. Final: When the pool, 5-foot high pool enclosure and gates have been installed, pumps, lights, etc., electrical final has been completed by the electrical inspector, pool and pool deck are complete and sod is done.

## **GENERAL NOTES:**

1. The stamped, approved plans and survey shall be kept on the job site until the final inspection has been made.
2. The Inspection Record Card shall be placed on an outside exterior wall near the pool and shall remain posted until the final inspection has been made. Cards should be protected from the weather.
3. Call (952) 447-9850 between 8:00 a.m. and 4:30 p.m. to arrange for an inspection.
4. Prior to digging call Gopher State Services at 811 to verify utility locations. Forty-eight-hour notice is required, excluding weekdays and holidays.

**ALLOW 24 HOURS FOR ALL INSPECTIONS!**

**EXAMPLE:**  
**Location of swimming pool on a lot**  
**This illustration is intended as a guide only.**

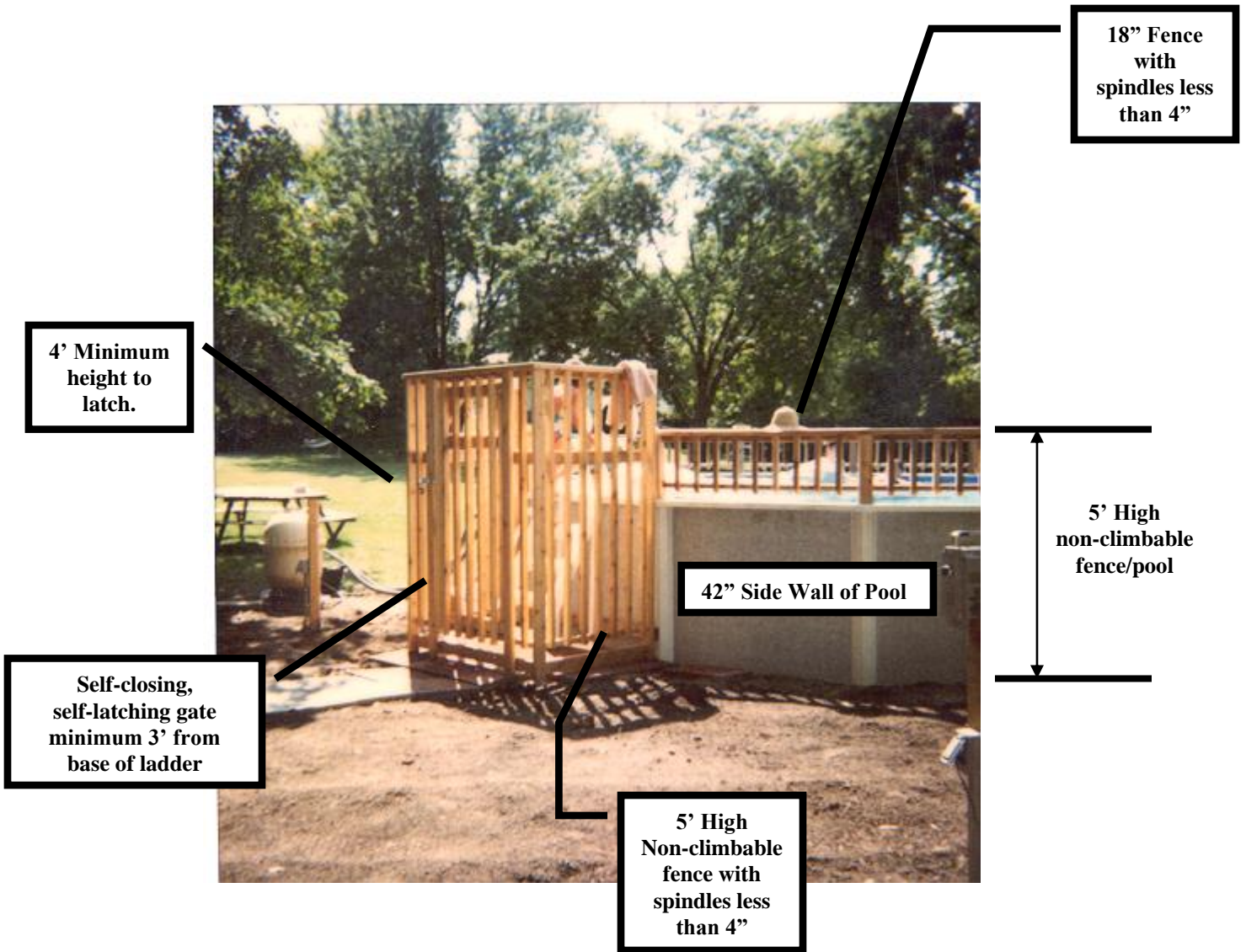


**NOTES:**

- Pools shall not be located within 10 feet horizontally from underground or overhead utility lines.
- Decks adjacent to above-ground pools are considered structures and must meet all structure setbacks.
- Pools and aprons cannot be located in any drainage or utility easement.
- Separate permits are required for heating and electrical.
- Call Gopher State One Call at 811 before excavation.

**EXAMPLE:**

**ABOVE GROUND POOL LADDER ENCLOSURE**  
This illustration is intended as a guide only.



**Call Gopher State One Call before excavation at 811.**  
**Separate permits are required for Heating and Electrical.**



**REQUIREMENTS FOR SWIMMING POOLS**

**PRIOR LAKE CITY CODE**

**SUB SECTION 403.500: MINIMUM REQUIREMENTS:**

- (1) Pools shall not be located within ten feet (10') (measured horizontally) from underground or overhead utility lines of all types.
- (2) Pools shall not be located within any private or public utility, drainage, walkway or other easement.
- (3) Construction of pools shall be undertaken so as to avoid hazard, damage or considerable inconvenience to adjacent property.
- (4) The lot owner shall be liable for damages to any business or private property caused during pool construction.
- (5) To the extent feasible, back-flush water or water from pool drainage shall be directed onto the owners' property or onto approved public drainage ways and shall not drain onto adjacent private land. Drainage onto public streets or other public drainage ways shall require permission of the appropriate local City officials.
- (6) Any pool lighting shall be directed toward the pool and not toward adjacent property.
- (7) The pool area shall be enclosed with a non-climbable type fence at least five feet (5') in height to prevent uncontrolled access to the pool area, and the fence shall have a gate self-closing, and self-latching with the latch inaccessible to small children and at least four feet (4') from the ground level. The fence shall be completely installed and pass inspection before filling the pool.
- (8) All wiring, installation of heating units, grading, installation of pipe or other construction shall be subject to inspection.
- (9) Nuisances, such as undue noise, lighting of adjacent property, health and safety hazards, damage to vegetation on adjoining property, and the like, shall not be permitted.
- (10) Filling of pools from fire hydrants or other public facilities shall require the permission of the appropriate local City officials.
- (11) If protective five-foot (5') fence is not maintained, water from pool shall be removed immediately.

**I UNDERSTAND THE FOREGOING AND AGREE THAT THE SWIMMING POOL WILL NOT BE FILLED WITH WATER UNTIL ALL OF THE ABOVE REQUIREMENTS ARE SATISFIED.**

**SIGNATURE OF OWNER** \_\_\_\_\_ **DATE** \_\_\_\_\_

**POOL CONTRACTOR** \_\_\_\_\_ **DATE** \_\_\_\_\_

**ADDRESS** \_\_\_\_\_

**The City reserves the right to order (in writing) the removal of the water in the event any of the above conditions are not satisfied.**