



# Sheds/Accessory Structures

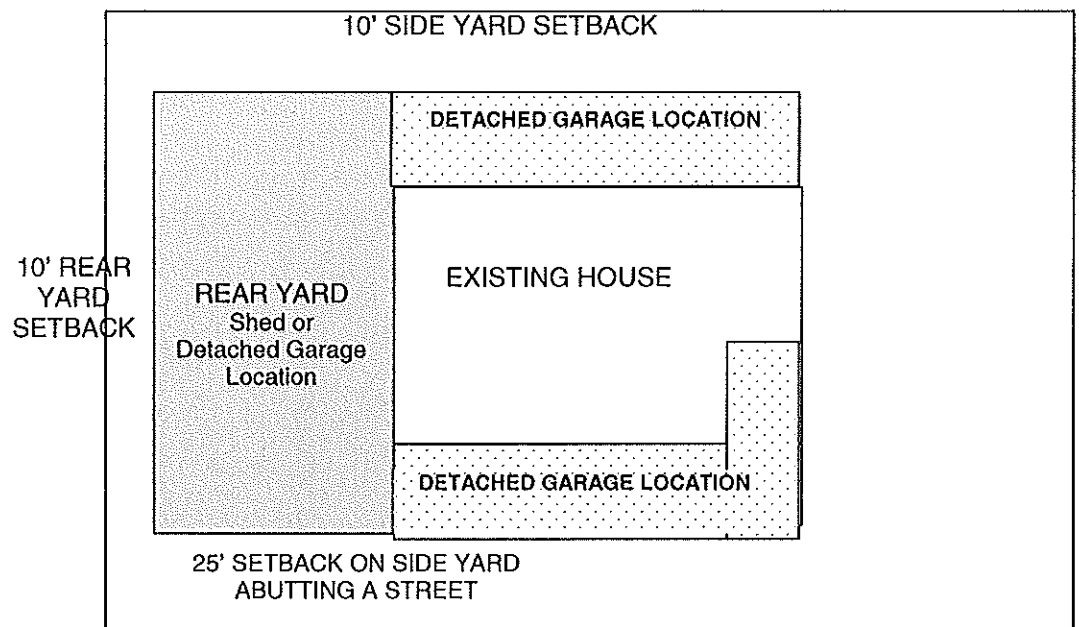
## *City of Prior Lake Requirements*

The following are requirements for Accessory Structures (1102.808):

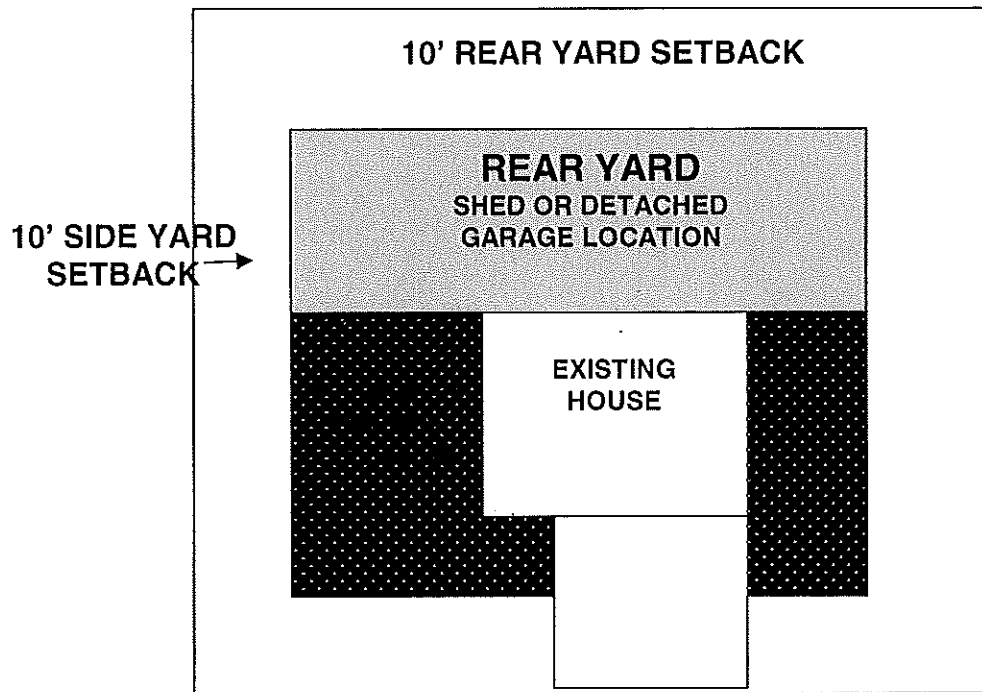
- No accessory structure or use will be permitted on a lot without an established principal use.
- No accessory building shall be erected or located within a yard other than the rear yard, except that a detached accessory building, designed and used as a garage, may be located within a side yard unless it abuts a street. No accessory building shall be located between the front building wall and the front lot line.
- No accessory building erected in the rear yard of a corner lot shall be located within 25 feet of any property line abutting a street.
- All detached garages and other accessory structures shall be compatible in design and materials with the principal structure on the parcel as per subsection 1107.2200.
- A detached garage located 60 feet or more from the front lot line shall be a minimum of 10 feet from any lot lines.
- The total ground floor area of all accessory buildings shall not exceed 25% of the area between the principal structure and rear lot line and in the R-1, R-2 or R-3 Use Districts; it shall not exceed 832 sq. ft.
- The height of an accessory building shall not exceed 15 feet measured at grade, 6" below the bottom of the siding, to the mean point of structure.
- No accessory building shall be located within 10 feet of any lot line abutting lots in an "R" Use District.
- Accessory buildings located less than 6 feet from a principal building on the same lot shall be considered part of the principal building for the purpose of applying provisions of this Ordinance including, but not limited to, setbacks and other dimensional requirements.
- Where the natural grade of a lot at the building line of a house is 8 feet or more above the established curb level, a private garage may be erected within any yard provided 1/2 or more of its height is below grade level and it is located a minimum of 10 feet from any street line and 5 feet from any side lot line.
- For accessory buildings to be located on Islands, refer to Section 1104.309 of the City Code.
- Structures are not permitted within easements.

- **A Building Permit is required for all accessory structures over 120 square feet.** A separate permit is required for electrical work.
  - As part of the building permit, a survey is required. An existing signed and dated survey can be used for proposed sheds less than 480 square feet of floor area on lots outside the Shoreland District and Flood Overlay District (1109.600). For lots within the Shoreland District or Flood Overlay District, a current survey is required with impervious surface calculations.
  - Roof live load must be 30 pounds per square foot when structures exceed 120 square feet of floor area.
  - Floor live load must be 40 pounds per square foot when structure exceeds 120 square feet of floor area.
  - Detailed plans are required when the structure exceeds 120 square feet of floor area.
- A certificate of survey will not be required for sheds less than 120 square feet. The zoning application must be accompanied by a site plan identifying the property boundaries and the location of the proposed shed.
- The City does not enforce deed restrictions or covenants on property. Please check recorded documents for any restrictions or regulations concerning accessory structures in your development.
- Please call the Planning Department at 952.447.9810 if you have any questions or need additional information.

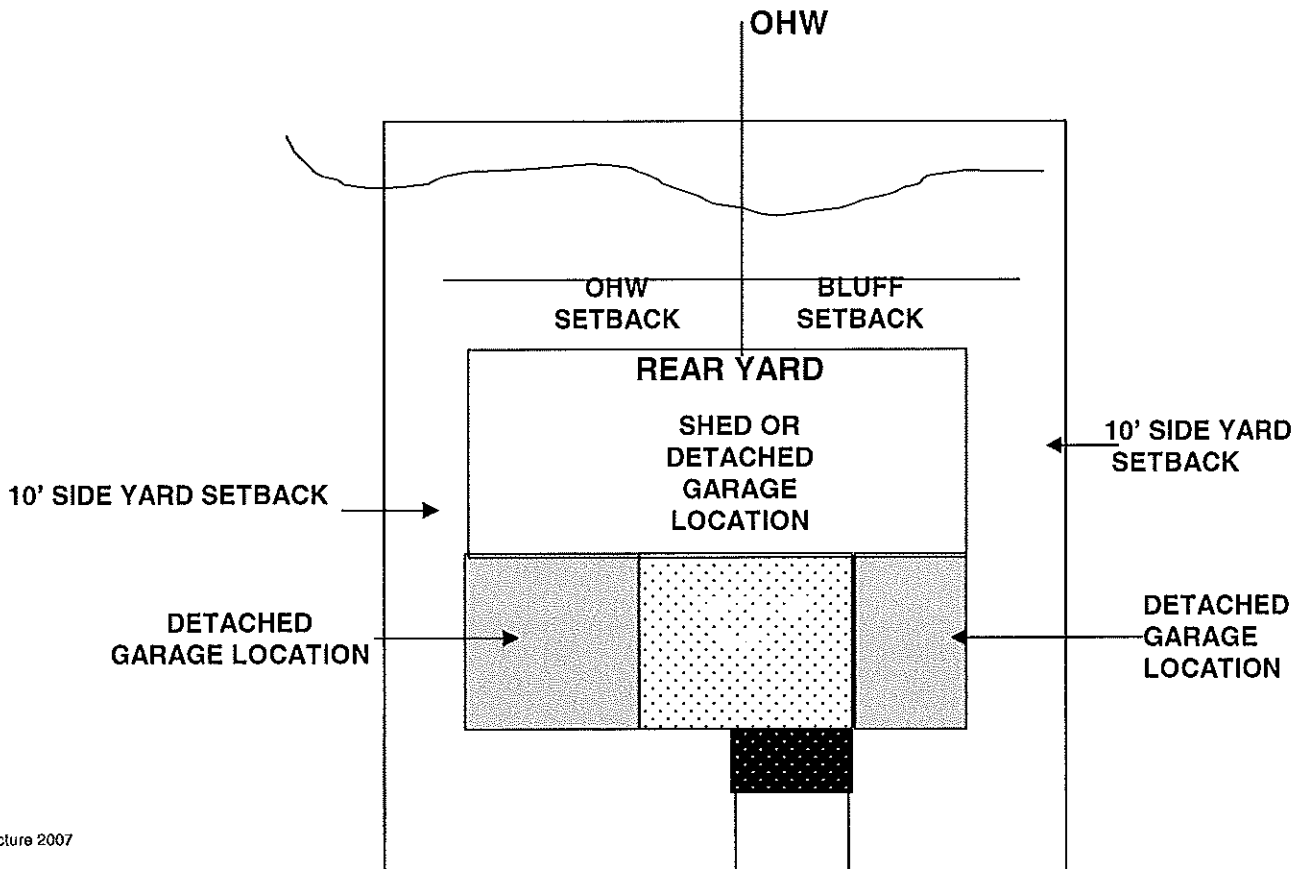
### CORNER LOT



**TYPICAL LOT**



**LAKESHORE LOT**





# CITY OF PRIOR LAKE

## SPECIFICATIONS FOR GARAGES / ACCESSORY STRUCTURES

**\*\* Permits are not required for structures 120 square feet or under.**

### **1. REQUIRED INFORMATION WHEN APPLYING FOR A PERMIT:**

- a) Submit a copy of a Certificate of Survey showing the location and area of the existing structures and proposed structures. Indicate the setbacks from the property lines. Also show location of any existing structure(s). (SEE SURVEY HANDOUT FOR ADDITIONAL DETAILS).
- b) Submit two (2) copies of drawings showing proposed designs and materials. Drawings shall be drawn to scale and shall include the following information.
  - i) **FLOOR PLAN** - Indicating proposed size, window and openings, size, spacing direction of rafter material and header or beam schedule.
  - ii) **CROSS SECTION** - Indicating footage and floor design, wall and roof construction.
  - iii) **ELEVATIONS** - front and side view, indicating height of structure.
- c) If truss roof system is to be used, submit a copy of the stamped pre-engineered truss designs from the manufacturer at the framing inspection.
- d) Completed permit application.

Examples of drawings to be provided are attached for use as a guide.

### **2. BUILDING CODE REQUIREMENTS:**

- a) **FOUNDATION: (SEE ATTACHED SLAB DESIGN)**

A "floating slab" up to a maximum of 1,000 square feet in area, may be poured provided the soil has a bearing capacity of at least 1,500 pounds per square foot. Remove all sod and root structures and other fibrous materials and cover with 4" sand fill. At the perimeter from a haunch to thickened edge having a minimum vertical dimension at the exterior face of twelve (12) inches

with at least six (6) inches projecting above the finished grade. The bottom of the haunch shall be at least eight (8) inches wide and then sloped upward to the bottom of the slab. Screed block shall be placed to provide for a minimum slab thickness of four (4) inches. The minimum concrete strength shall be at least 3,000 pounds per square inch (28 day strength). In cold weather, protect concrete from freezing when green.

When slab is over two-hundred (200) square feet in area, provide with a minimum of reinforcement of 6 x 6, #10 gauge wire mesh. Overlap six (6) inch splices and bend down into the edge of the slab at least six (6) inches. When slab is over four-hundred (400) square feet in area, provide with 2 - #4 rerods around the perimeter of the slab.

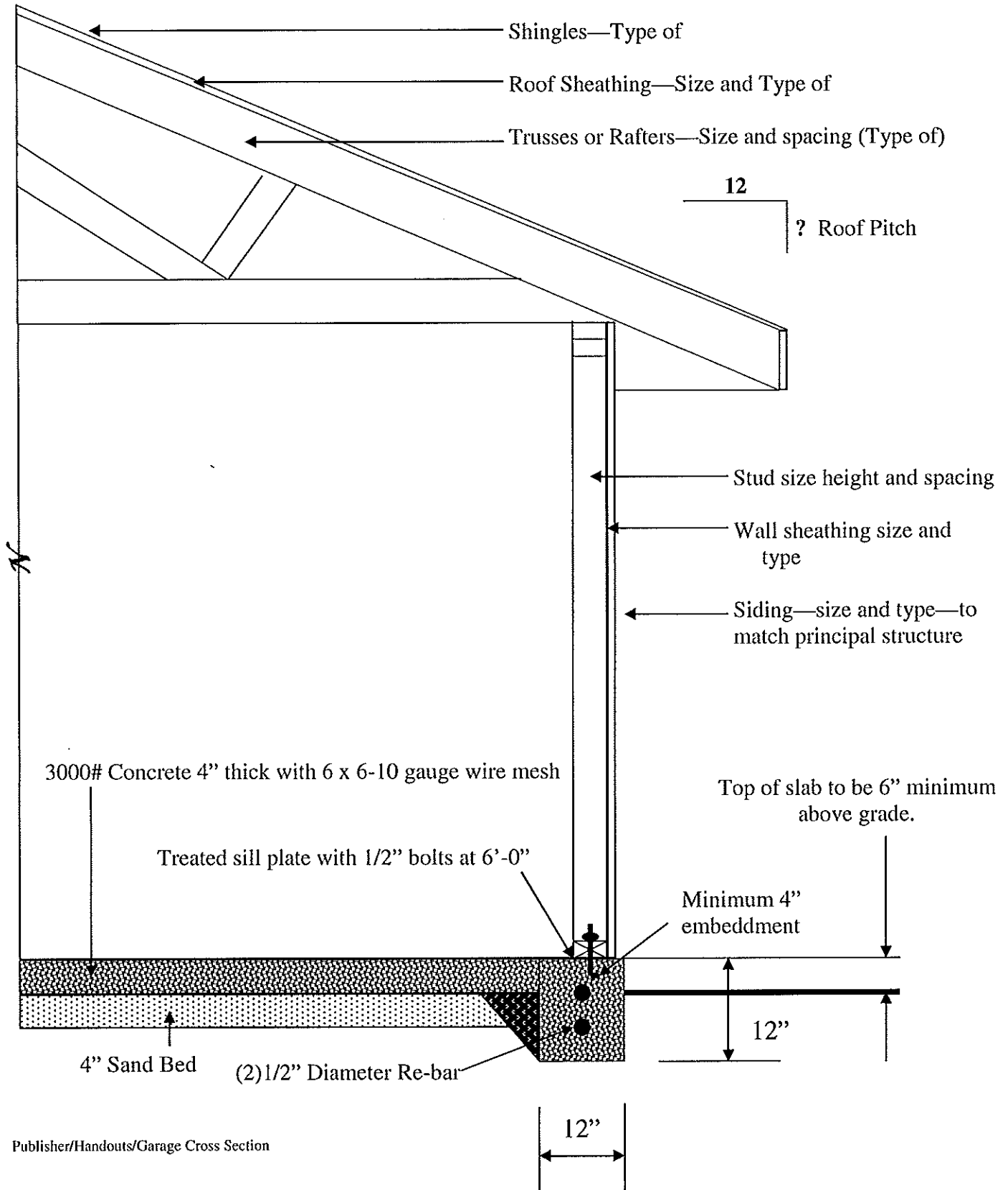
- b) **NOTE:** Four (4) inch block is not permitted unless they are core filled (UBC Table 29-4).
- c) **SILL BOLTS:** While concrete is still plastic, bent 1/2" diameter x 7" foundation bolt shall be embedded into the concrete at least 6'0" O.C. and 1'0" from each corner (UBC 2807-e).
- d) **SILL PLATES:** The bottom plate shall be a minimum of 2 x 4. When setting directly on the concrete, it shall be Penta treated, redwood, or other rot-resistant wood (UBC-2516-c-3).
- e) **WOOD FRAMING:** Wood studs shall be at least 2 x 4's with three (3) studs provided at corners.
- f) **TOP PLATE:** The top plate shall be overlapped double 2 x 4's
- g) **WALL SHEATHING AND SIDING:** Fasten approved wall sheathing according to manufacturer specifications. (Sheathing shall be approved for 16" or 24" O.C. stud spacing - UBC2514).
- h) **HEADERS:** For sixteen (16) foot, zero (0) inch door in gable (non-bearing) end, header shall be minimum 2-2 x 10's with plywood in between. When door is to be located in bearing wall, header shall be a minimum (3) 11 2/3 LVL or (2) 14" LVL or equivalent.

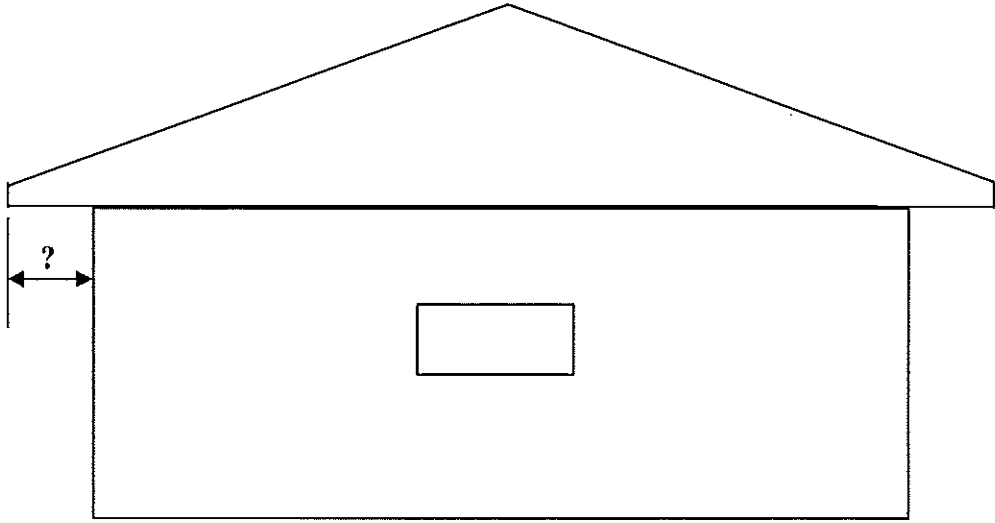
Rafters shall be cross-tied every 4'0" from plate line. The ridge board shall not be less than one (1) inch normal thickness and depth not less than the cut of the rafter.

If trusses are to be used, they shall be stamped and approved by a third party agency. Submit two (2) copies of truss plans signed by a registered engineer at the framing inspection.

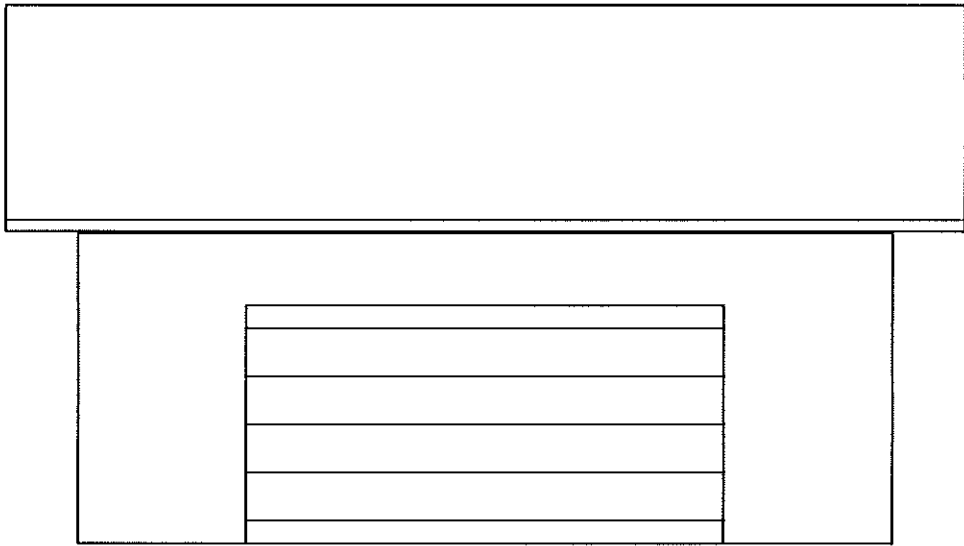
- i) **ROOF COVERING:** Nail approved roof sheathing according to manufacturer specifications (sheathing shall be approved for a sixteen (16) or twenty-four (24) inch O.C. rafter or truss spacing). Shingles shall be a minimum 210# asphalt or equivalent applied over fifteen (15) pounds felt paper according to manufacturer specifications (UBC-3203).
- j) **FIREWALL:** Garages with 6'0" of a dwelling shall be protected with materials approved for one (1) hour fire resistive construction. Doors shall be approved self-closing solid wood at least 1 3/8" in thickness (UBC-Table 5-A) or a steel insulated door.
- k) **NOTE:** When locating garage 6'0" or less from dwelling, 42" frost footings shall also be required.
- l) **ELECTRICAL:** Electrical inspections will be required. For information on electrical permits and/ or inspections, contact Walt Lusian, State Electrical Inspector, between 7:00 A.M. - 8:30 A.M., Monday through Friday, at (612) 934-0229.
- m) **HEATED GARAGES:** Garages that are to be heated will be required to have insulated foundations, walls and ceilings. Attic ventilation will also be required.

# CROSS SECTION OF DETACHED GARAGE

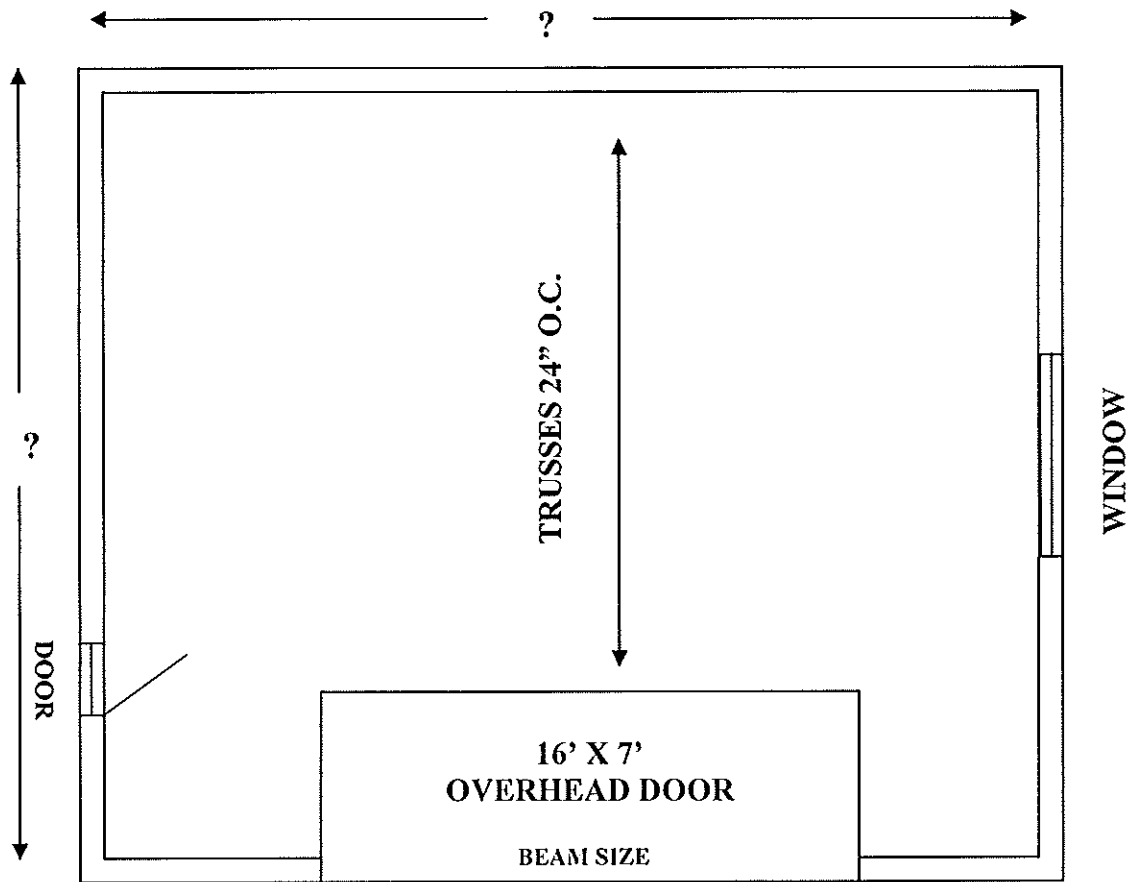




**SIDE ELEVATION**



**FRONT ELEVATION**



DOORS OVER 6'-0" WIDE REQUIRE  
HARD SURFACE DRIVEWAYS TO  
STREET OR EXISTING DRIVEWAY

## FLOOR PLAN