



SHEDS, GARAGES, WATER-ORIENTED STRUCTURES, & OTHER ACCESSORY STRUCTURES

City of Prior Lake Requirements

BUILDING PERMIT: is required for all accessory structures over 200 square feet. A separate permit is required for electrical work. Request an Electrical Permit from the State of Minnesota (www.doli.state.mn.us/CCLD/Electrical.asp)

SUBMITTALS FOR PERMIT

May be submitted online @ bsaonline.com/MunicipalDirectory a link is on the city website

- Signed completed building permit application – unless completing the application online
- Detailed plans including
 - ✓ All dimensions drawn to scale
 - ✓ Floor Plan indicating proposed size, window, and openings, size, spacing direction of rafter material and header or beam schedule.
 - ✓ Cross Section indicating footage and floor design, wall, and roof construction
 - ✓ Elevations front, side view, and height of structure
 - ✓ If truss roof system is to be used, submit a copy of the stamped pre-engineered truss designs from the manufacturer at the framing inspection.
 - ✓
- Updated Certificate of Survey including
 - ✓ the location and area of existing structures and proposed structures
 - ✓ setbacks from the property lines
 - ✓ updated impervious surface calculations

If proposed structure is less than 480 sf and non-shoreland district an existing, signed survey may be used.

ZONING CODE REQUIREMENTS

1102.700: RESIDENTIAL PERFORMANCE STANDARDS. (8)

Accessory Uses and Structures shall comply with the following standards and all other applicable regulations:

- No accessory use or structure shall be constructed or permitted without an established principal use.
- The accessory use or structure shall be incidental to and associated with the principal use or structure.
- The accessory use or structure shall be subordinate in area, extent, and purpose to the principal use or structure
- The accessory use or structure shall be located on the same zoning lot as the principal use or structure except for accessory off-street parking and loading facilities and as defined in Section 1101.501 (d), and subject to the provisions of Section 1107.
- Design criteria. In all residential districts, the design and construction of any garage, carport, or storage building shall be similar to or compatible with the design and construction of the main building. The exterior

building materials, roof style, and colors shall be similar to the main building or shall be commonly associated with residential construction. In addition, the following shall apply:

- Pole building structures are prohibited, except in the “A” Use District.
- Attached structures. An accessory structure shall be considered attached, and an integral part of, the principal structure when it is structurally connected to the principal structure or located 6 feet or less from the principal structure. Such structures shall be subject to the provisions of this Ordinance applicable to principal structures including, but not limited to, setbacks, building height, and other dimensional requirements.

Detached structures. Detached accessory structures shall be permitted in residential districts in accordance with the following:

- The total ground floor area of all detached accessory structures located on a single residential property in the R-1, and R-2 Use Districts shall not exceed 1,000 square feet or 30% of the rear yard.
- The total ground floor area of all detached accessory structures in the R-4 Use District shall not exceed 30% of the rear yard.
- No accessory building shall be located within five (5) feet of any lot line or within the limits set forth in Subsections 5, 6 and 7 below if more restrictive. (Ord. Amend. 114-01, publ. 01/18/14) (Ord. Amend. 116-08, publ. 04/30/16)
- Maximum height shall not exceed fifteen (15) feet as measured from the mean grade level at the front face of the accessory structure to the top of the parapet or rooftop equipment, whichever is higher, of a flat roof; to the deck line of a mansard roof; to the uppermost point on a round or other arch type roof; or the mean distance of the highest gable on a pitched or hip roof.
- Detached accessory structures shall be located to the side or rear of the principal building and are not permitted within the front yard or within a side yard abutting a street except as provided in subsections 6 and 7 below.
- No detached accessory building erected to the side or rear of a principal building on a corner lot shall be located within 25 feet of any property line abutting a street.
- No accessory structure may be located in any public right-of-way or public easement except by consent of the City Engineer or his/her designee. (Ord. Amend. 114-01, publ. 1/18/14)

Riparian lots in the Shoreland District, one (1) detached accessory building designed and used as a garage may be located between the front building wall and the street or private road providing access to the lot subject to the following conditions:

- The accessory building must be located so that it meets all front yard requirements of a principal structure.
- The accessory building must be compatible in design and materials with the principal structure.
- The accessory structure may be used only for storage of vehicles and other equipment incidental to residential uses.
- There shall be no home occupations or other nonresidential use of the building.
- The accessory structure must meet all other requirements of subsection 1102.700(8).

1104.308 PLACEMENT, DESIGN, AND HEIGHT OF STRUCTURES:

Water-Oriented Accessory Structures: One water-oriented accessory structure may be allowed per lot on General Development (GD) lakes that have Municipal sewer and water; provided a building permit is obtained and meet the following criteria

- On riparian lots containing a slope equal to or greater than 20% measured from the front of the principal structure to the ordinary high water mark and verified by a certificate of survey prepared by a registered surveyor, one water-oriented structure meeting the criteria listed in this subsection is permitted with a setback of not less than 10 feet from the ordinary high water mark.
- On riparian lots containing slopes less than 20%, one water-oriented accessory structure meeting the criteria listed in this subsection is permitted with a setback of not less than 50 feet from the Ordinary High-Water elevation.
- The structure shall not occupy an area greater than 120 square feet, and the maximum height of the structure must not exceed 10 feet, including the roof; and
- The structure shall be located in the most visually inconspicuous portion of the lot as viewed from the surface of the lake, assuming summer, leaf-on conditions; and
- The structure shall not be designed or used for human habitation and shall not contain water supply or sewage treatment facilities. However, the structure may contain electrical and mechanical systems; and
- The structure shall be constructed of treated materials compatible with the principle structure and designed to reduce visibility as viewed from public waters and adjacent shorelands by vegetation, topography, increased setbacks or color, assuming summer, leaf-on conditions; and
- If the proposed structure will be located below the regulatory flood plain elevation, the structure shall be built compliant with applicable flood-proofing requirements of the Building Code and Section 1105 of this Ordinance; and
- Trees that are 4 inches in caliper or larger should not be removed for the erection of a water-oriented accessory structure. If removal is necessary, replacement with like trees shall be made with the approval of the Zoning Administrator. Erosion control measures shall be implemented, and all disturbed vegetation replaced with sod or suitable landscaping materials; and
- The structure shall be attached to a permanent foundation so as to be immovable from its approved location.
- Water oriented accessory structures not meeting the lakeshore required setbacks may be replaced if the following criteria are met:
 - ✓ The structure existed legally on June 1, 2009;
 - ✓ The replacement structure is the same size, configuration, location, building material, and height as the structure in existence on June 1, 2009;
 - ✓ The existing structure is not located within an easement, right-of-way, side yard setback, or over a property line.

BUILDING CODE REQUIREMENTS

FOUNDATION (See attached slab designs) A “floating slab” up to a maximum of 1,000 square feet in area, may be poured provided the soil has a bearing capacity of at least 1,500 pounds per square foot. Remove all sod and root structures and other fibrous materials and cover with 4” sand fill. At the perimeter from the haunch to thickened edge having a minimum vertical dimension at the exterior face of twelve (12) inches with at least six (6) inches projecting above the finished grade. The bottom of the haunch shall be at least eight (8) inches wide and then sloped upward to the bottom of the slab. Screed block shall be placed to provide for a minimum slab thickness of four (4) inches. The minimum concrete strength shall be at least 3,000 pounds per square inch (28-day strength). In cold weather, protect concrete from freezing when green.

When a slab is over two-hundred (200) square feet in area, provide with a minimum of reinforcement of 6 x 6, #10-gauge wire mesh. Overlap six (6) inch splices and bend down into the edge of the slab at least six (6) inches. When slab is over four-hundred (400) square feet in area, provide with 2 - #4 re-rods around the perimeter of the slab. NOTE: Four (4) inch block is not permitted unless they are core filled.

SILL BOLTS While concrete is still plastic, bent ½” diameter x 7” foundation bolt shall be embedded into the concrete at least 6’ 0” O.C. and 1’ 0” from each corner.

SILL PLATES The bottom plate shall be a minimum of 2 x 4. When setting directly on the concrete, it shall be Penta treated, redwood, or other rot-resistant wood.

WOOD FRAMING Wood studs shall be at least 2 x 4’s with three (3) studs provided at corners.

TOP PLATES The top plate shall be overlapped double 2 x 4’s.

WALL SHEATHING AND SIDING Fasten approved wall sheathing according to manufacturer specifications. Sheathing shall be approved for 16” or 24” O.C. stud spacing.

HEADERS For sixteen (16) foot, zero (0) inch door in gable (non-bearing) end, header shall be minimum (2) 2 x 12’s with plywood in between. When door is to be located in bearing wall, header shall be a minimum (3) 11-7/8 LVL or (2) 14” LVL or equivalent.

If trusses are to be used, they shall be stamped and approved by a third-party agency. Submit copy of truss plans signed by a registered engineer at the framing inspection.

ROOF COVERING Nail approved roof sheathing according to manufacturer specifications (sheathing shall be approved for a sixteen (16) or twenty-four (24) inch O.C. rafter or truss spacing). Shingles shall be a minimum 210# asphalt or equivalent applied over fifteen (15) pound felt paper according to manufacturer specifications.

FIREWALL Garages within 10’ 0” of a dwelling shall be protected with materials approved for one (1) hour fire resistive construction. Doors shall be approved self-closing solid wood at least 1 3/8” in thickness or a steel insulated door. NOTE: When locating garage 6’ 0” or less from dwelling, 42” frost footings shall also be required.

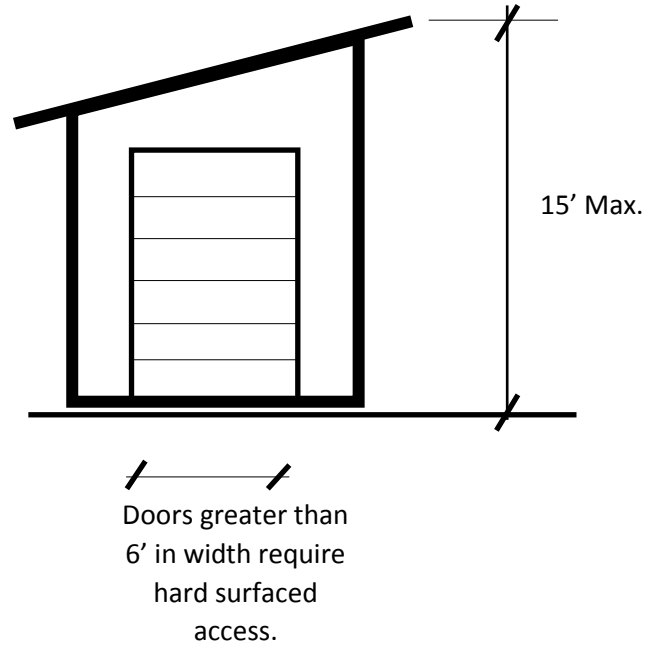
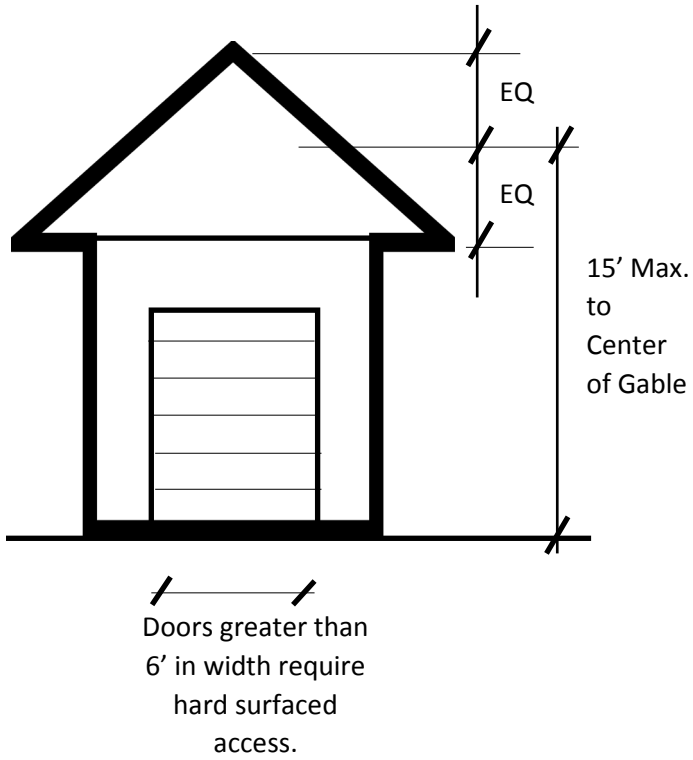
ELECTRICAL Inspections will be required. Contact the State Electrical Inspector.

HEATED GARAGES will be required to have insulated foundations, walls and ceilings and attic ventilations.

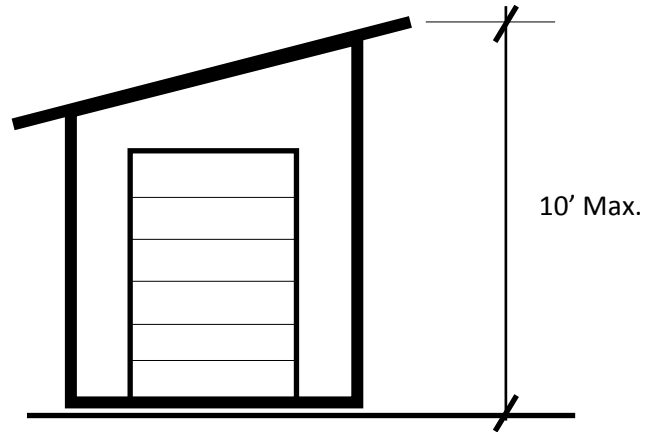
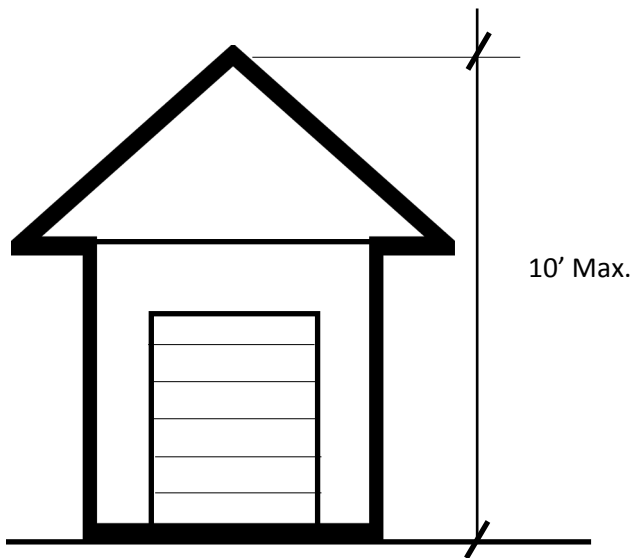
See illustrations included on subsequent pages these are intended as a guide only

Before digging, call Gopher State One Call 800 252 1166 or 651 454 0002.

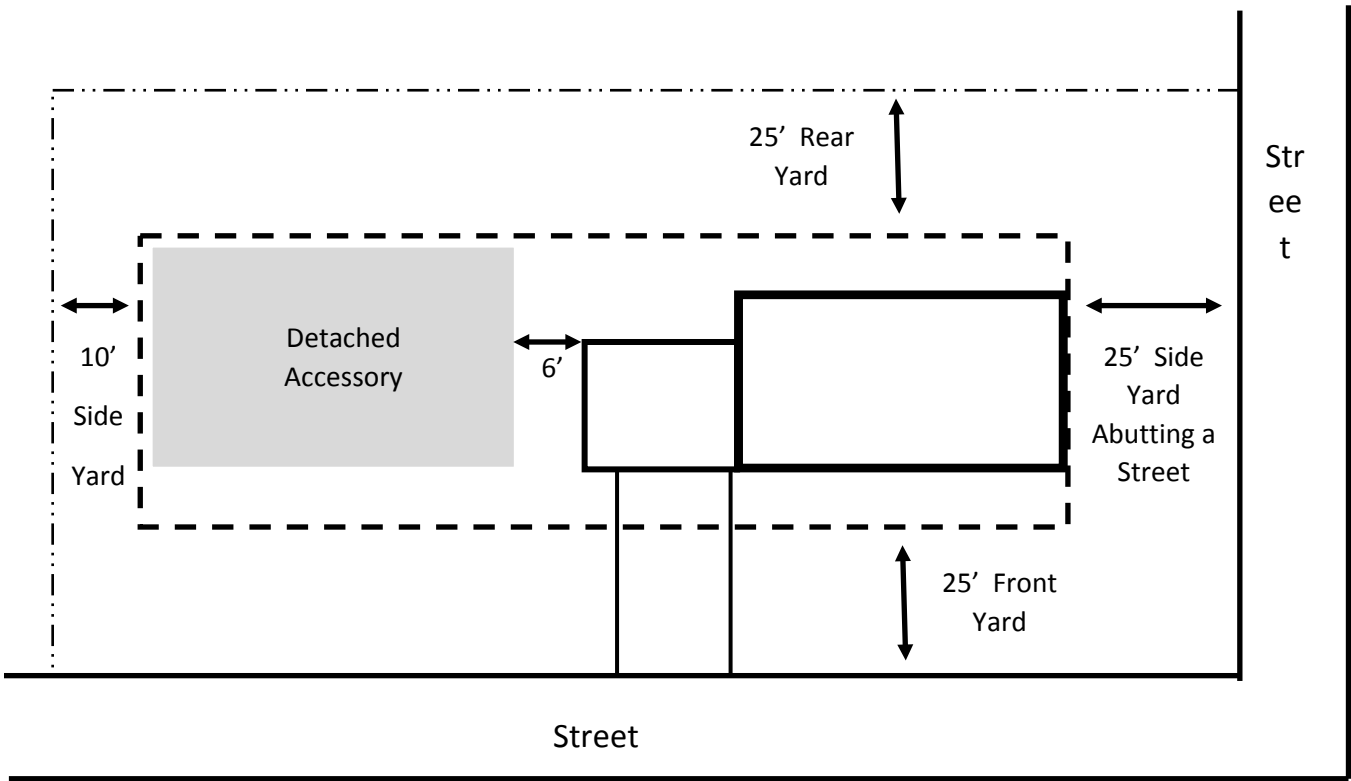
Maximum Height of Detached Accessory Structures



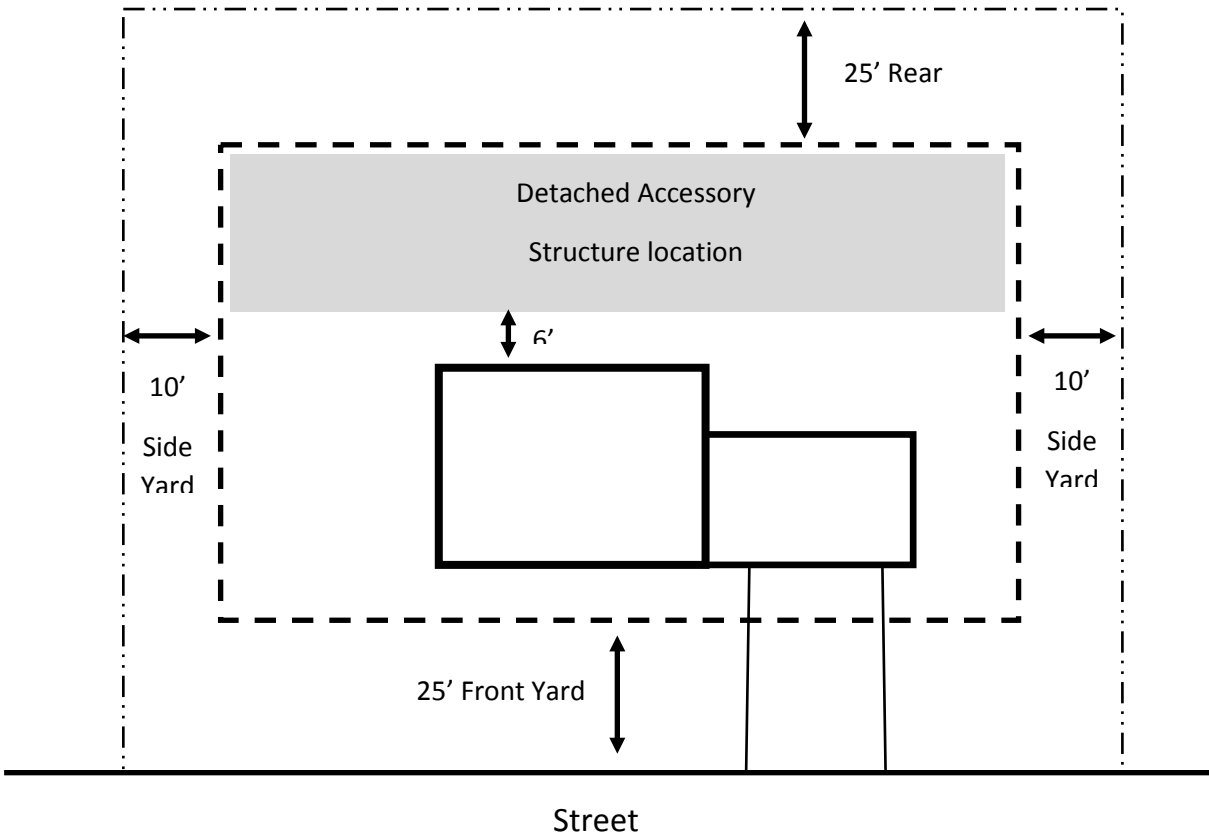
Maximum Height of Water Oriented Access Accessory Structures



Corner Lot Setbacks



Typical Lot Setbacks



Water Oriented Accessory Structure

